

Tahoe City Public Utility District

TAHOE CROSS-COUNTRY LODGE REPLACEMENT AND EXPANSION PROJECT

FINAL ENVIRONMENTAL IMPACT REPORT

Board Meeting - February 25, 2021



Introductions

Matt Homolka / TCPUD

Assistant General Manager/District Engineer

Kim Boyd / TCPUD

Senior Management Analyst

Jessica Mitchell/Ascent Environmental, LLC

Project Manager

Zach Miller/Ascent Environmental, LLC

Transportation Planner

Nanette Hansel / Ascent Environmental, LLC

Senior Project Manager

Gordon Shaw / LSC Consultants, LLC

Don Heapes / Tahoe Cross Country Ski Education Association

Steve Gross / Porter-Simon

District General Counsel



Purpose of Today's Meeting

After hearing and considering all public comment received, the Board consider adopting Resolution No. 21-05 to certify the Final Environmental Impact Report, adopt CEQA Findings and the Mitigation Monitoring and Reporting Program, and approve the Project* for the Tahoe Cross-Country Lodge Replacement and Expansion Project

** Project = Proposed Project = Site D – Full Project Alternative*



Meeting Process

- **Open the Hearing**
- Presentation
 - Tahoe Cross Country Ski Education Association (TCCSEA)
 - Outreach/History/CEQA Distribution/Project Overview
 - Final Environmental Impact Report
 - Project Approval/Next Steps
- Board Questions / Clarifications
- Public Comment
- Break – Staff Review of Comments
- Responses to Public Comments (at Board Discretion)
- Close the Hearing
- Board Consideration/Deliberation/Discussion
- Possible Board Action - Adopt Resolution No. 21-05



Presentation by TCCSEA



Public Outreach

- Extensive Pre-CEQA Public Outreach to communicate, understand, and discuss the Project
 - Project elements and design, justification, TCPUD involvement, alternatives development, CEQA process, and community concerns
- Phases:
 - TCCSEA Outreach Efforts (Early 2017)
 - TCPUD Outreach (April 2017 – June 2018)
 - CEQA Outreach (June 2018 – Today)
 - Project Development (Upcoming)
- Nine (9) Board meetings (including CEQA process and today)
- Four (4) Neighborhood meetings (TCPUD and TCPUD/TCCSEA)
- Six (6) TCCSEA-sponsored meetings
- TCPUD Project specific website (updated throughout process)
- Extensive and broad reaching notification for all via email, hard copy mailing, and personal contacts



Project History and Past Actions

- December 9, 2014: P&R Committee – TCPUD supports Recovery Plan and Adaptive Re-Use of the Schilling Residence (Letter to TRPA)
- Apr 17, 2015: TCPUD Board Meeting – Board executes Resolution 15-11, “intends to provide site for the new lodge, once appropriate CEQA review and permitting are complete”
- May 2015 – Schilling Lodge is donated to TCCSEA
- Oct 21, 2016: TCPUD Board Meeting – Board approves Letter of Intent, “to negotiate in good faith with TCCSEA a formal lease agreement to provide use of Highlands property for the new lodge”
- January/February 2017: Extensive outreach conducted by TCCSEA to get public input on Candidate Sites for new lodge
- Apr 21, 2017: TCPUD Board Meeting – Board passes motion to “designate three Project Alternatives (Site D, Site A, and No Project) for environmental review...cooperate with TCCSEA and Placer County in developing a plan and funding program to complete environmental review...bring to the Board a recommendation on any District further action”
- Aug 18, 2017: TCPUD Board Meeting – Board approves CEQA Work Plan, consultant selection process, and authorizes continued District staffing expenditure



Project History and Past Actions - continued

- Sep 3, 2017: **Highlands HOA Meeting** – District staff and TCCSEA make presentation
- Oct 20, 2017: **TCPUD Board Meeting** – Board authorizes execution of Reimbursement Agreement with TCCSEA for CEQA expenditures, and authorizes execution of Professional Services Agreement with Ascent Environmental for the preparation of CEQA documents
- Jan 22, 2018: **Highland Neighborhood Meeting** – TCPUD hosts focused neighborhood meeting
- February 2018: TCPUD staff and TCCSEA finalize draft Project Objectives and development of site plans for new Project Alternatives
- Mar 6, 2018: **Highland Neighborhood Meeting** – TCPUD hosts broader neighborhood meeting
- Mar 16, 2018: **TCPUD Board Meeting** – Board designates the 'Proposed Project' and authorizes five (5) Project Alternatives
- March 15, 2019: **TCPUD Board Meeting** – Board discusses proposed business and operations model
- August 31, 2019: **Highlands HOA Meeting**



CEQA Distribution and Timeline

- June 22, 2018: **Notice of Preparation (NOP) of an Environmental Impact Report**
- June 22, 2018 – July 25, 2018: Public comment period on scoping of EIR
 - Two (2) public scoping meetings – July 17, 2018 (10:00 a.m. and 6:00 p.m.)
 - 33 scoping comments (28 from individuals, 5 from agencies)
- September 2018: Scoping Summary Report completed
- September 2018 – June 5, 2020: Preparation of Draft Environmental Impact Report (DEIR)
- June 5, 2020: **Notice of Availability (NOA) announcing availability of DEIR for review**
- June 5, 2020 – July 24, 2020: Public comment period on DEIR
 - **Board Meeting** – July 17, 2020 – Review DEIR, comments received, and solicit comments
 - 86 comment “letters” received (Agency and Public)

All above were noticed extensively (CEQA, County, SCH, property owners, email blasts)



CEQA Distribution and Timeline

- February 8, 2021: **Final Environmental Impact Report (FEIR) published**
 - Contains all comments, response to comments, revisions to the Draft EIR and an Appendix.
 - A notification of it's availability on the TCPUD website was sent to:
 - Responsible, trustee, and interested agencies (direct mail and email)
 - Property owners in the Highlands Neighborhood (direct mail)
 - The interested parties list (199 total by email)
 - The District's Constant Contact email lists (2,184 total by email)
 - Save-the-Date email sent February 1, 2021 for today's hearing
 - Comments received will be summarized later



Project Overview

- **Detailed Project Description and the Project Objectives are provided in the Draft EIR**
 - Relocate, expand, and adaptively reconstruct the historic Schilling residence into a new building (the Schilling Lodge);
 - Construct associated improvements, including a driveway and parking lot, utilities, landscaping, and outdoor community areas; and
 - Relocate the functions and operations of the Tahoe Cross-Country Center (Tahoe XC) to a new location
 - Retain the existing Highlands Community Center for TCPUD use similar to other TCPUD community facilities.

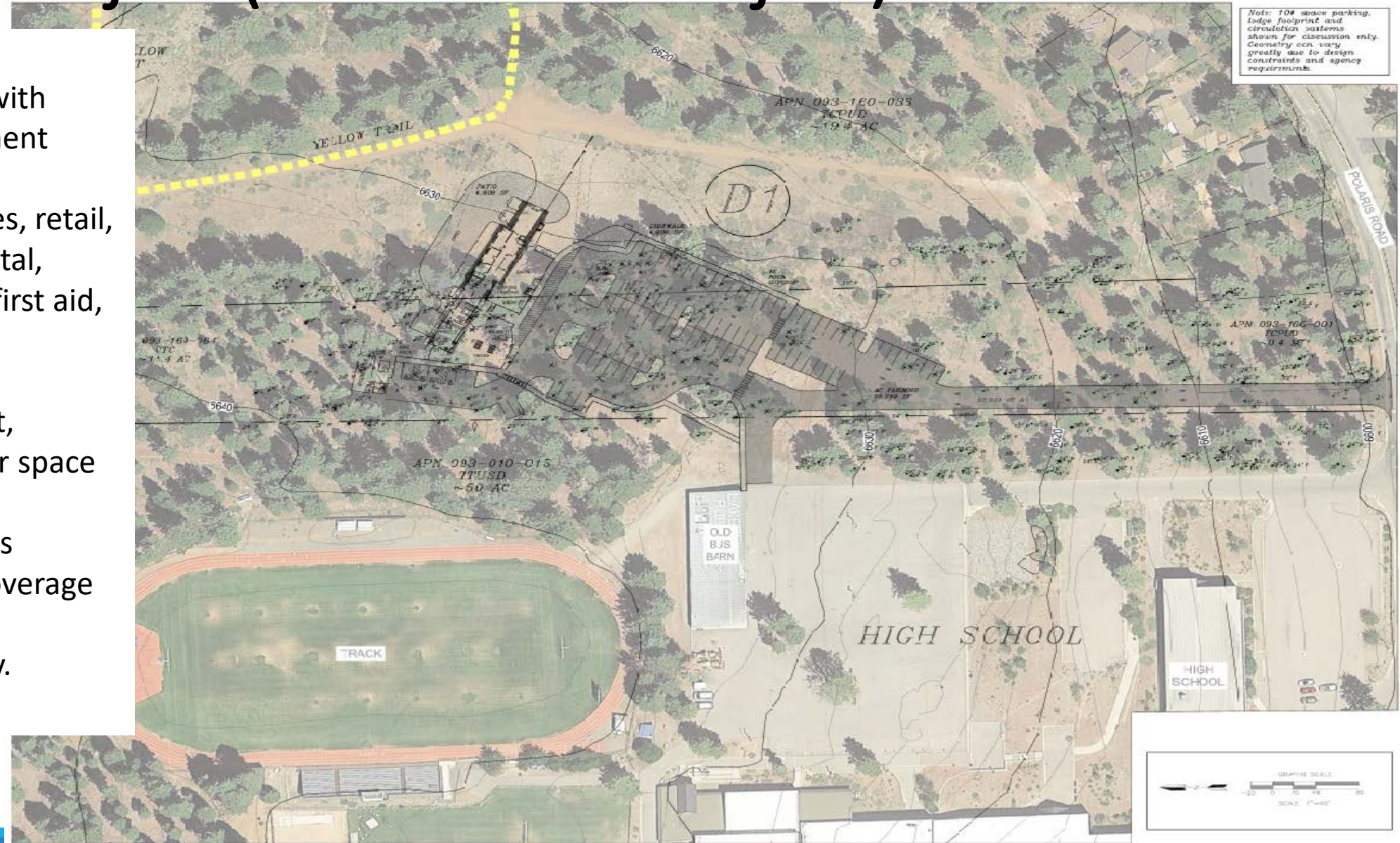


Proposed Project (Site D – Full Project)

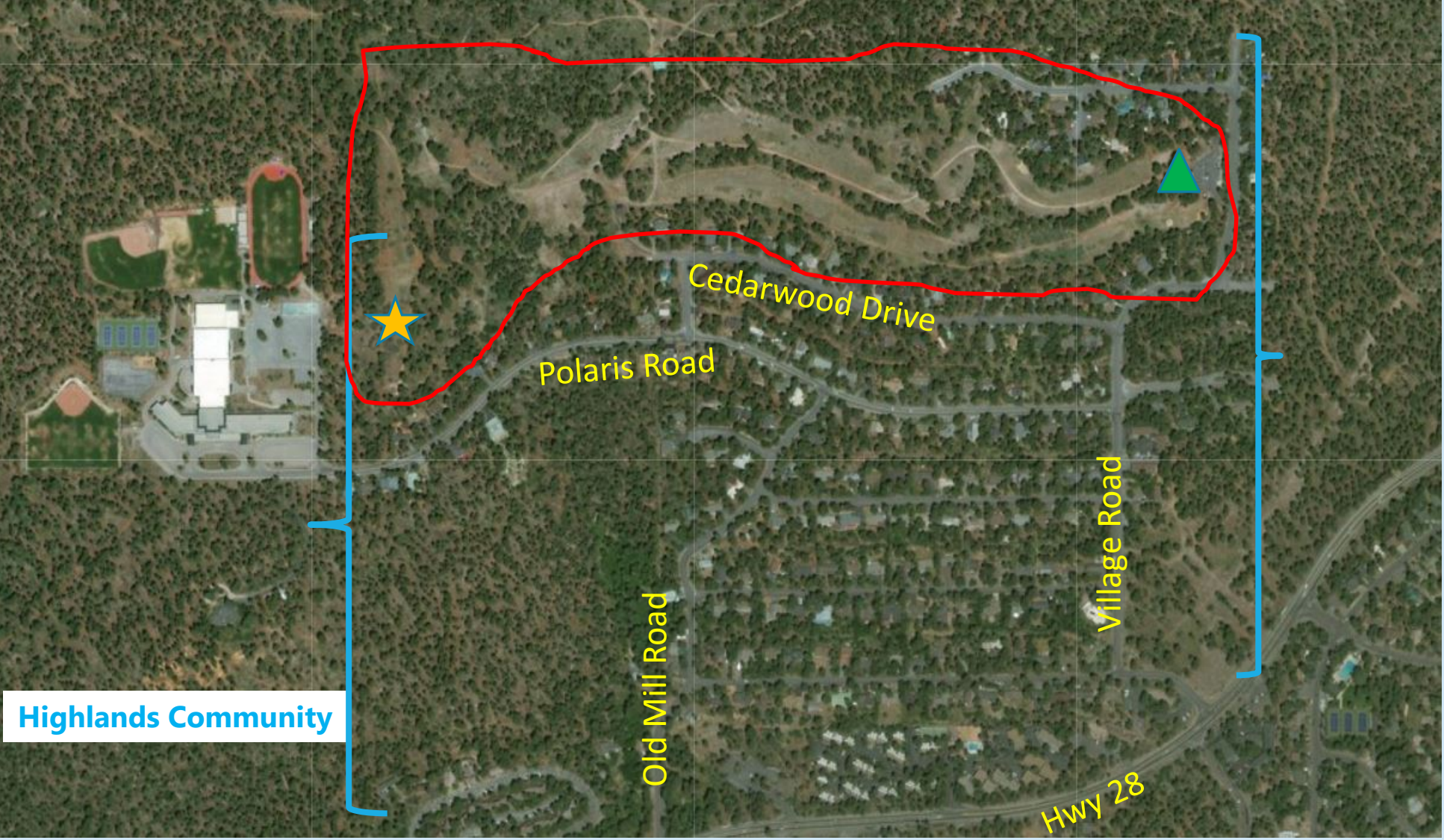


Site Summary

- Schilling Structure with addition and basement (10,154 sf)
- Use includes tix sales, retail, mtg room, café, rental, storage, staff area, first aid, lockers, family area, gym/mtg space, snowmobile carport, community/outdoor space
- 100 parking spaces
- 2 bus parking spaces
- Parking driveway coverage 59,799 sf
- Fairly level site (elev. ~6,636')



Project Location



— Highlands Park and Community Center Property

★ Proposed Project

▲ Existing Lodge



Final EIR – Ascent Environmental



Relevant CEQA Steps


- Draft EIR
 - Discloses physical environmental effects
 - Identifies mitigation that reduces, avoids, minimizes, or compensates for those effects
- Final EIR
 - Revisions to the Draft EIR (Ch. 2)
 - Responses to comments (Ch. 3)
- Board action today
 - Certify EIR
 - Adopt Mitigation Monitoring and Reporting Program and Findings of Fact



EIR Findings

- All potentially significant impacts (9) reduced to a less-than-significant level
- Comments on the Draft EIR
 - 80 comment letters received
 - 3 agency letters
 - 1 organization letter
 - 76 letters from individuals
 - 6 commenters at public meeting
 - 40 letters and 3 oral commenters expressed support for the project
- No changes made to the proposed Project or Alternative A


February 2021



FINAL ENVIRONMENTAL IMPACT REPORT

Tahoe Cross-Country Lodge Replacement and Expansion Project

SCH No.: 2018062045



Tahoe City
Public Utility District

PREPARED FOR:
Tahoe City Public Utility District
221 Fairway Drive
P.O. Box 5249
Tahoe City, CA 96145
Contact:
Kim Boyd
(530) 580-6286

Summary of Comments on Draft EIR

Environmental resource comments included:

- **Traffic safety**
- **Traffic analysis**
- **VMT mitigation**
- **Cumulative impacts**
- **Historic preservation**
- **Tree removal**
- **Alternatives analysis**
- Land use compatibility
- Emergency response and evacuation
- Hazardous materials

Other comments not related to the adequacy of the EIR:

- Ownership/funding
- Financial viability
- Alcohol
- Project justification
- Consistency with TCPUD function/service
- Effect on TCPUD utility rates
- Expansion/increase in facility and use
- Project name
- Property value



Revisions to the Draft EIR

Some clarifications and minor revisions were made to:

- Project description
- VMT analysis and mitigation measures
 - Transportation Demand Management (TDM) plan analysis (see Final EIR, Appendix A)
- Mitigation for greenhouse gas emissions
- Cumulative impact analysis for Dollar Creek Crossing project



Transportation Study

- Trip generation analysis was based on observed Tahoe XC traffic activity on busy winter and summer days. Current site generates 372 1-way vehicle-trips on a winter weekend day.
- A 10% increase in customer levels is assumed with the new lodge, along with 2 new weekend winter employees, a 65-attendee winter special event, and re-use of the existing building as a community center. Winter net increase of 149 1-way vehicle-trips per weekend day, of which 58 are in the peak-hour.
- At Site D, 272 daily 1-way trips would be added on Polaris Drive west of Old Mill Road on a winter weekday and up to 489 on a winter weekend day. Maximum daily total volume would be 1,642, below Placer County standard of 2,500.
- Cumulative traffic analysis reflects forecast growth in through-traffic on 28 (19.3% winter and 13.8% summer), Dollar Creek Crossing (assumed 169 units) and 29 additional homes around the neighborhood.
- All of the study intersections were found to attain Placer County LOS standards, for both sites, for winter and summer and for both existing-plus project and cumulative-future-plus-project conditions. Various access options for Dollar Creek Crossing were evaluated that found LOS to be acceptable under all options.

Traffic Safety

- **Driver sight distance at Site D driveway** – 40' short of the 385' needed for corner sight distance but does attain stopping sight distance of 250'. Placer County standards allow a Design Exception for approval in this condition.
- **Speeds on Polaris Road**
 - Posted Speed = 25 mph
 - Average Speed = 26 mph
 - 85th Percentile Speed = 30 mph
 - Design Speed = 35 mph
- **Polaris Road** – 13 reported crashes over 10 years, resulting in 4 injuries (no fatalities).
- **Old Mill Road** – 5 reported crashes over 10 years, with none including an injury or fatality. A relatively high rate of total crashes, but relatively low severity of crashes.
- **SR 28/Fabian Way** – 14 reported crashes over 10 years, including 6 resulting in minor injuries (no severe injuries or fatalities). Crash rate is 131% higher than statewide average for similar intersections. Proposed project would increase total traffic by 3% winter / 1% summer for Site D, and 5% winter / 5% summer for Site A.
- **Bicyclist/pedestrian crashes** – 3 reported crashes over 10 years resulting in a bicyclist or pedestrian injury (2 on Polaris, 1 at 28/Fabian). None occurred on school days.

Biological Resources

Potentially Significant Impacts

- Tree removal: potential conflict with TRPA policy to prohibit the removal of trees larger than 30 inches dbh in westside forest types in lands classified as recreation
- Disturbance or loss of special-status plants and wildlife
- Potential establishment and spread of invasive plants

Tree Removal Associated with the Proposed Project and Alternative A						
Size Class (inches dbh)	Proposed Project			Alternative A		
	Fir or Pine	Species of Limited Occurrence	Subtotal	Fir or Pine	Species of Limited Occurrence	Subtotal
<14	28		28	35		35
14 – <24	103		103	23		23
24 – <30	37		37	12	2	14
≥30	14	1	15	7		7
TOTAL	182	1	183	77	2	79



Cultural Resources

Less-than-Significant Impact

- Relocation of the Schilling Residence would occur without altering its historic integrity



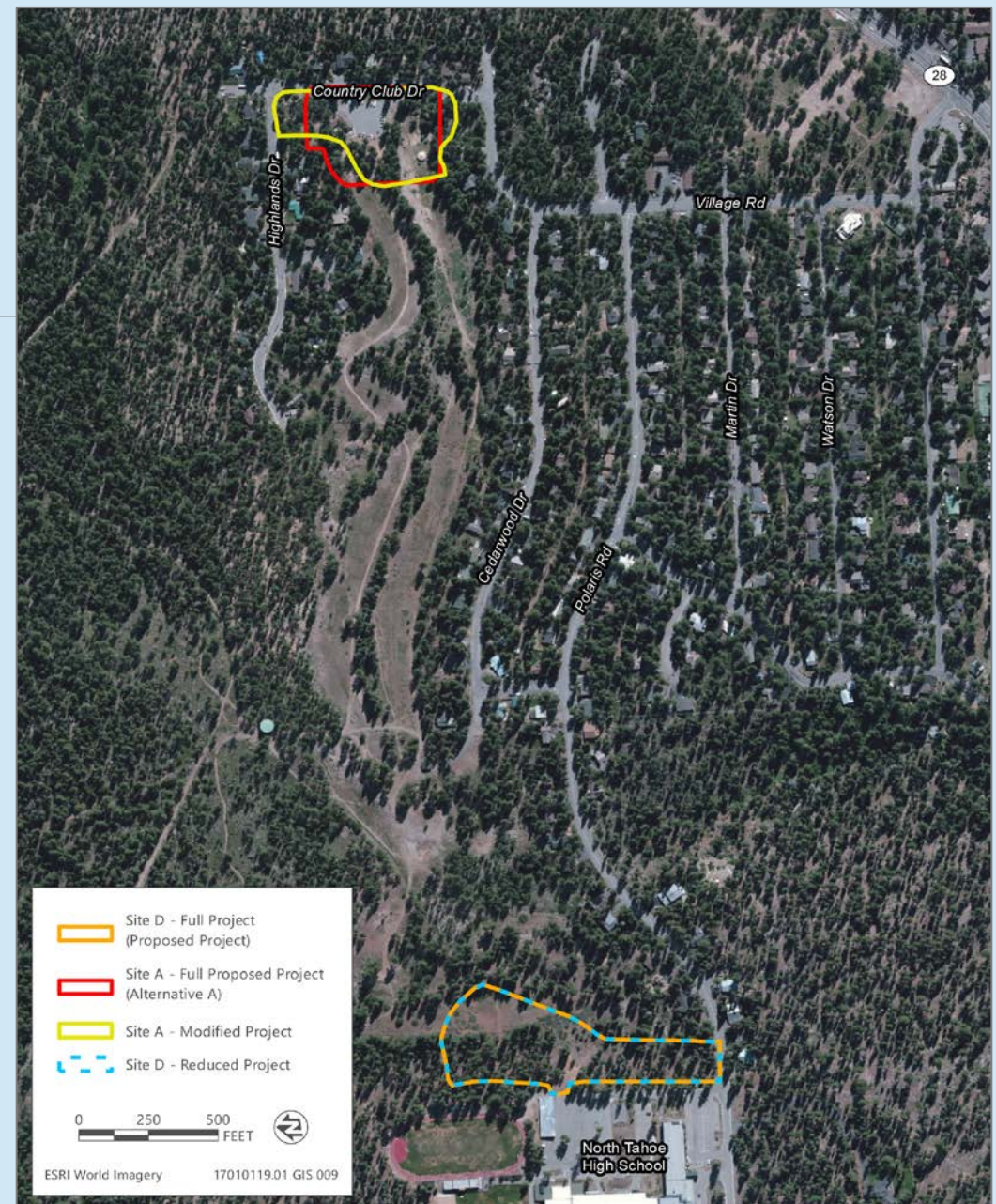
Potentially Significant Impacts

- Unique archaeological resources and tribal cultural resources or ethnic and cultural values
- Mitigation includes halt ground-disturbing activity upon discovery of subsurface archaeological features, assess discovery, and implement measures that will mitigate potential impacts on archaeological resources



Alternatives Analyzed in Draft EIR

- Site D – Full Project (Proposed Project)
- Site A – Full Project
- Alternatives evaluated at a comparative level of detail:
 - No Project Alternative
 - Site A – Modified Project
 - Site D – Reduced Project





All Project Alternatives Considered

Next Actions

- TCPUD Board of Directors
 - Consider certification of EIR
 - Adopt MMRP and Findings of Fact
 - Consider project approval
- Approvals outside of the CEQA process
 - Placer County permits
 - TRPA permit
 - California Tahoe Conservancy land exchange approval



Project Approval

- **Recommendation: Approve the Proposed Project (Site D – Full Project Alternative)**
- What does Project Approval mean?
- In this decision, the Board should consider all comments, including “non-CEQA” comments.
 - “...noted for consideration by the TCPUD Board during the review of the merits of the Project.”
- Some things to consider:
 - Is it relevant to today’s decisions or is it better resolved later?
 - (negotiation, community engagement, Board policy, permitting, design, etc.)
 - Is it subjectively different between the alternatives? (The EIR can provide data)
 - Will it be subject to compliance with regulation or law?



Project Approval – Differences

- Full vs. Reduced/Modified
 - Desire of the Project Applicant
- Differences between Site D and Site A:
 - Desire of the Project Applicant
 - Proximity to NTHS/MS
 - Connection to Ski Trails / Lesson and Program Area Space
 - Distance to and number of neighboring residences
 - Support and Opposition for the Project
 - Other:
 - Elevation
 - Data in the EIR
 - Environmentally Superior Alternative



Next Steps – If Approved

- File Notice of Determination (TCPUD)
- Public Outreach/Engagement – (TCPUD / TCCSEA)
 - Establish Affected Neighbors Group for Input
 - Implement Project accommodations where feasible
- Fundraising (TCCSEA)
- Financing/Funding Plan (TCCSEA)
- Ownership/Lease/Operating Negotiations (Continue March 15, 2019 Board Discussion) (BOTH)
- Property Rights Acquisition (CTC Property Exchange) (TCPUD)
- Permitting (TCCSEA)
- Design (TCCSEA)
- Construction (TCCSEA)
- Operation (TCCSEA)



Board Questions or Clarifications?



Correspondence/Comments Received Recently

- Since the Save-the-Date email and publication of the Final EIR:
 - Monday, February 1st – Monday, February 22nd at 12 pm - included in Board Packet
 - Subsequent letters until 4:30 pm yesterday February 24th - provided to Board and posted to Granicus and website last night
 - Since last night
- All have been provided to the Board of Directors and are a part of the record
- All have been reviewed in detail by staff and Ascent Environmental, LLC



Correspondence/Comments Received Recently

TOPICS:

- Traffic Volume
- Traffic Safety
- General Safety
- Emergency Evacuation
- Hazardous Materials
- Alcohol
- Weddings
- Ownership
- Operations/Lease/Allowed Uses
- Schilling Lodge Re-Use
- Zoning

- Motives of the parties
- Justification
- Viability

GENERAL:

- Process and timing
- Responses provided in Final EIR
- Draft EIR Analyses/Env. Impacts
- Mitigation Measures

- Support in Various Forms

- **What Have I Missed?**



Public Comment

- Time Limit:
 - 3 minutes (individual)
 - 5 minutes (organization/agency)
- One oral comment per person/organization/agency
- **“Raise hand” in Zoom or Dial *9 on your phone**
- You will be called on for your turn to speak
- Response to comments or questions at Board’s discretion after public comment



RECESS

- Staff/Ascent review of comments received



Responses to Public Comments

- Staff summary from recess
- Board directed responses/answers
- Staff suggested responses/answers

- Close Public Hearing



Board Deliberations and Possible Action

- Board Deliberation
- Additional Board Questions or Comments
- Recommended Board Action – **Adopt Resolution No. 21-05**
 - Certifying the Final Environmental Impact Report; Adopting CEQA Findings of Fact; Adopting a Mitigation Monitoring and Reporting Program; and Approving the Project for the Tahoe Cross-Country Lodge Replacement and Expansion Project



THANK YOU





Tahoe Cross Country Lodge Replacement and Expansion Project



Important Community Opportunity



Our commitment: repurposing this charming family home for use as a welcoming community space.



The residence as the center of the Pennoyer/Schilling family home life in the last century.



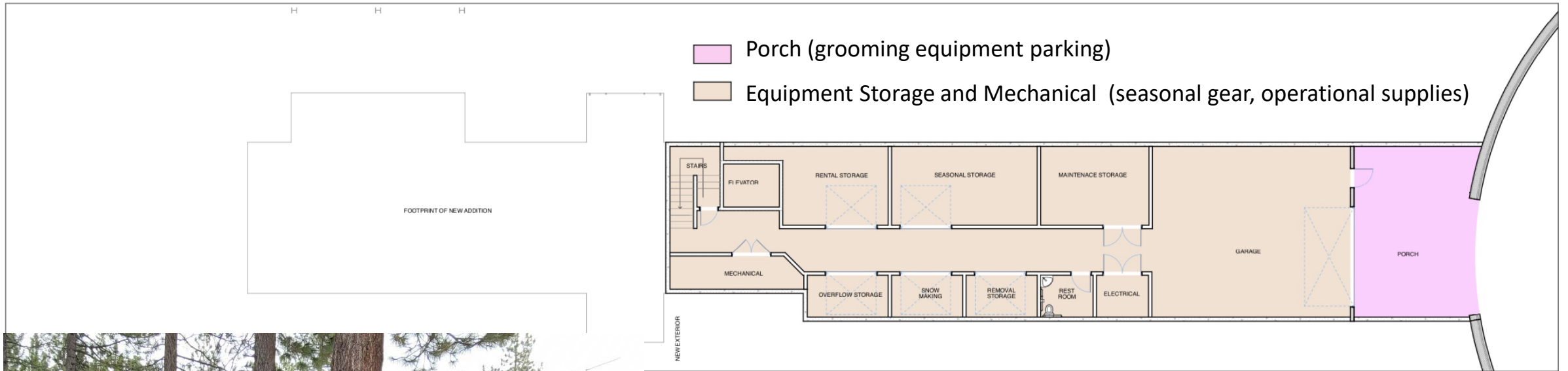
Highlands Community Center

Existing lodge built in the 1970s for use as a real estate sales office.

Existing Deficiencies:

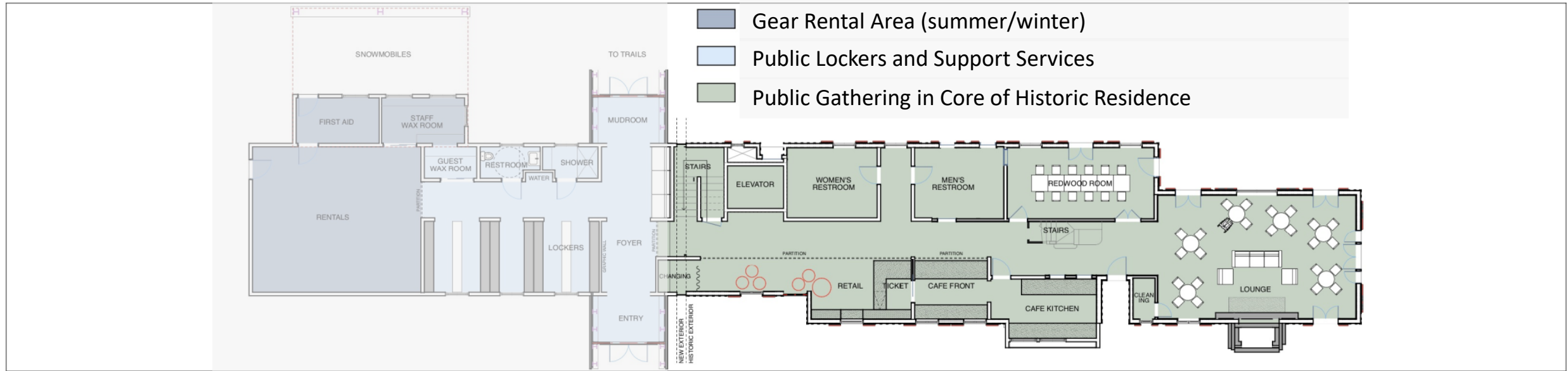
- Rental room, check-in counter, and café all too small
- No staff space
- No storage space for recreational gear
- Bifurcated space for café kitchen
- Unappealing architecture
- Parking lot significantly undersized
- Significant hill separating lodge from beginner terrain

Basement



A new basement will replace scattered outdoor storage and provide shelter for equipment.

Main Level

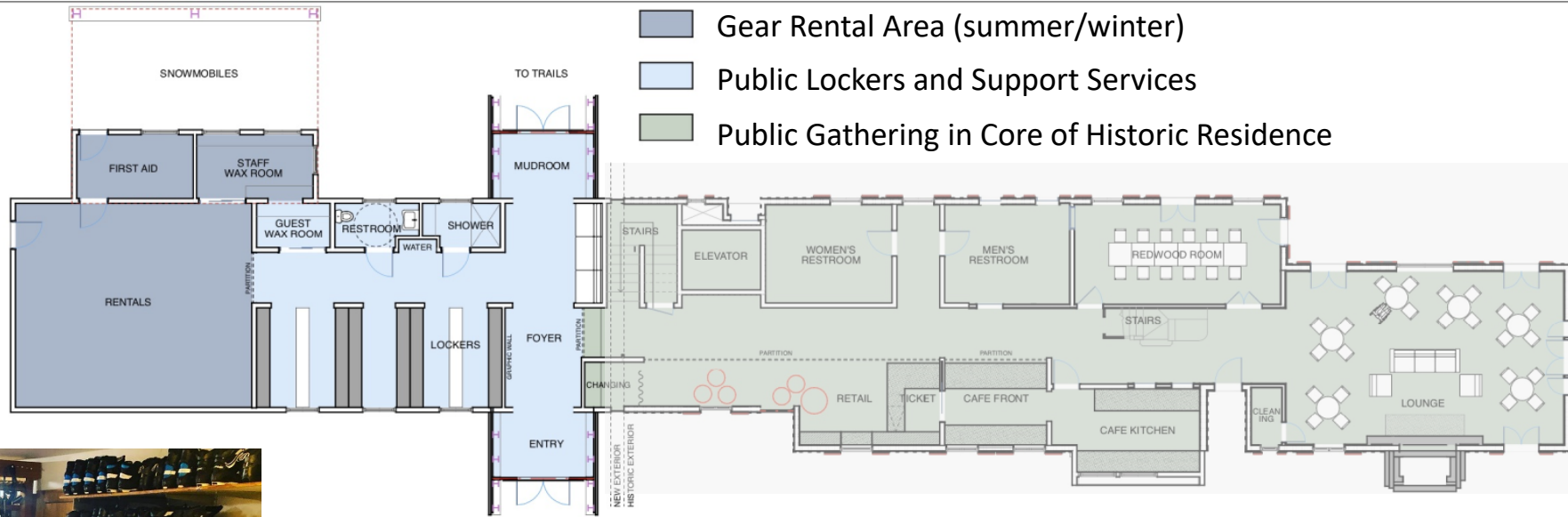


A larger entry and ticket area replaces the existing cramped ticket/retail/rental space.

The living room in the old house is a welcoming space to replace the existing café which is uninviting and easily crowded.



Main Level

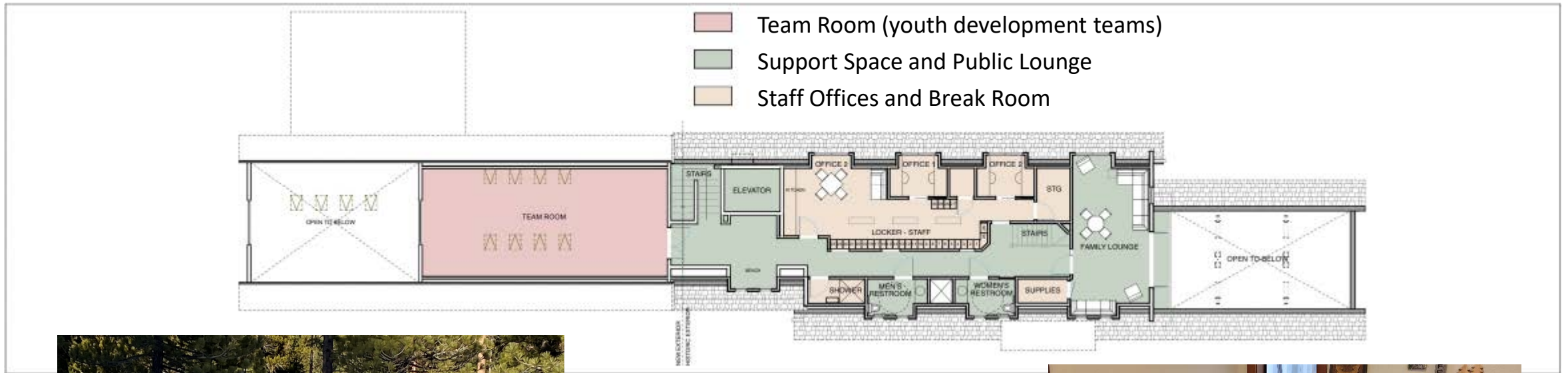


A larger space for ski rental and storage replaces the current cramped conditions.

Rental space for bikes is needed for summer operations.



Second Floor



A team room supports youth activities in summer and winter.



Staff offices replace meeting in public spaces.

Adaptive Re-Use

Protects historic character with functionality for a new purpose



Former bedrooms will serve as staff space.



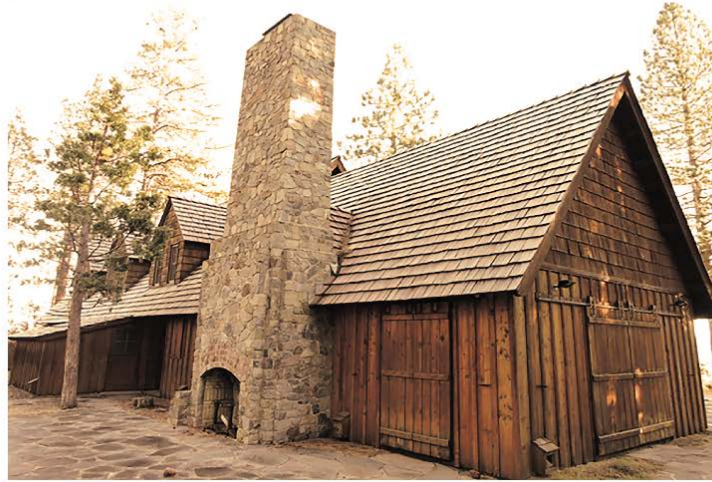
Original hardware and wall coverings are available for reuse.

Prime family spaces will form the heart of the public space.



Public Workshops

The Historic Schilling Lodge Project



Tahoe Cross Country Ski Education Association
will be holding a series of Four Public Workshops
for the Historic Schilling Lodge Project.

The Community is warmly invited to participate.

**January 21 & 22 • February 11 & 12
& March 11 & 12, 2017**

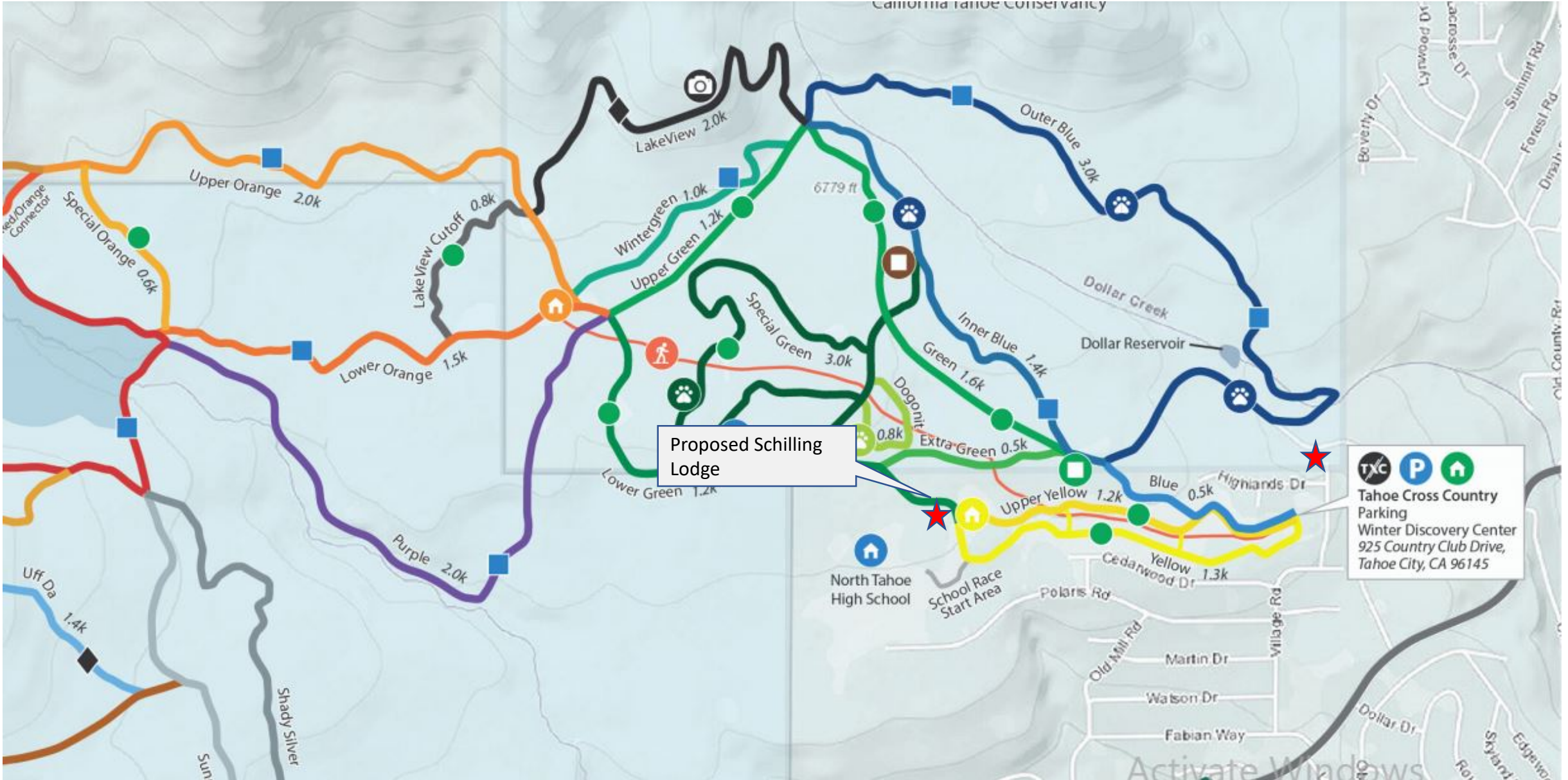
from 3 to 7pm

Fairway Community Center
330 Fairway Drive, Tahoe City, CA 96145

For more info www.TheSchillingLodge.com

Email: schillinglodge@tahoexc.org

Site D Offers Operational Advantages



Site D Minimizes Impact on Neighbors





We are a Good Neighbor



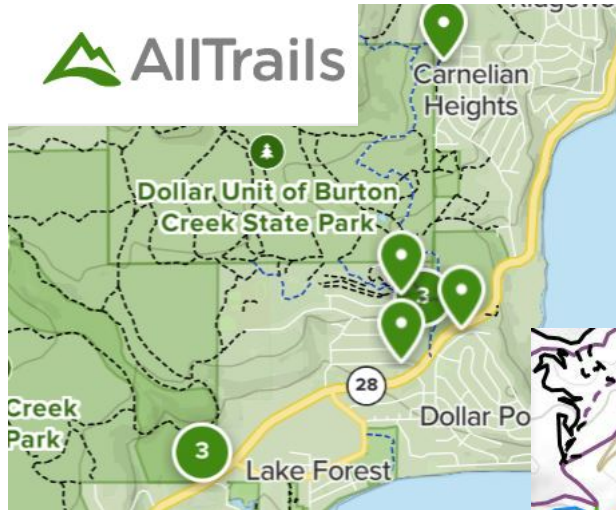
Laker Pride!



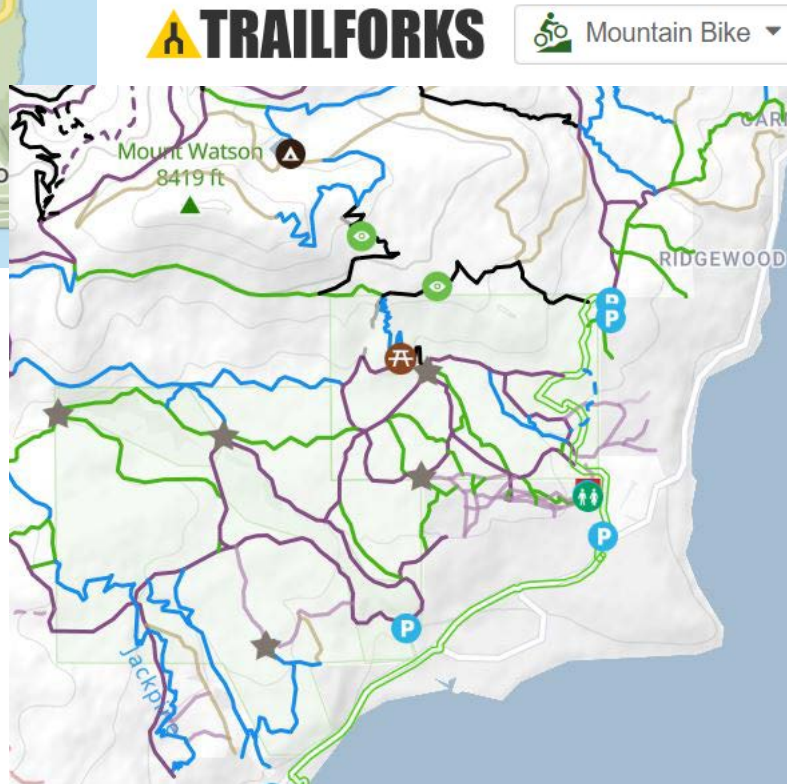
Building good citizens through outdoor activity, commitment to excellence, and environmental stewardship



Recreation Increasing with Population and Technology



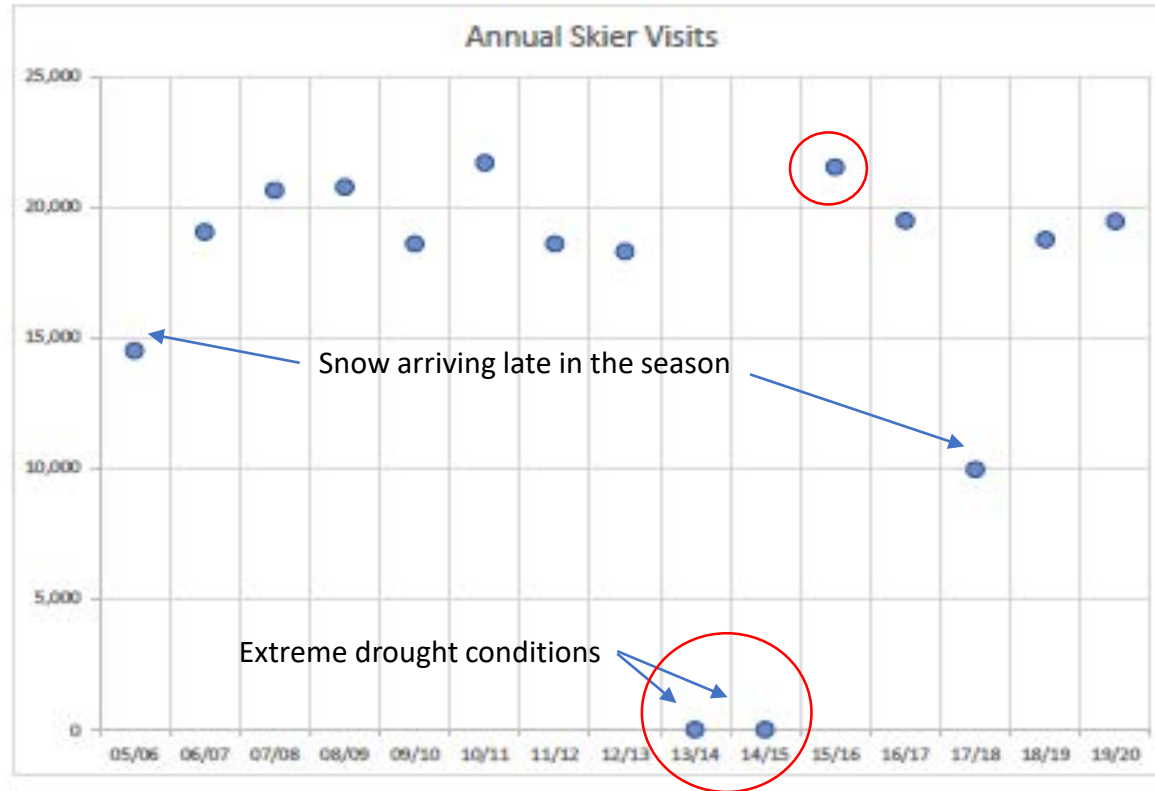
Trail apps direct users to public trails accessed from the Highlands.



The developed trailhead mitigates some aspects of public use and TXC volunteers protect the watershed.



Cross Country Skiing at TXC in the Last 15 Years



In the last 10 years, best and worst ski conditions experienced. Key to climate adaptation is flexibility and year-round recreation.

Adapting to a changing climate

Schilling Lodge will promote diverse activities year-round

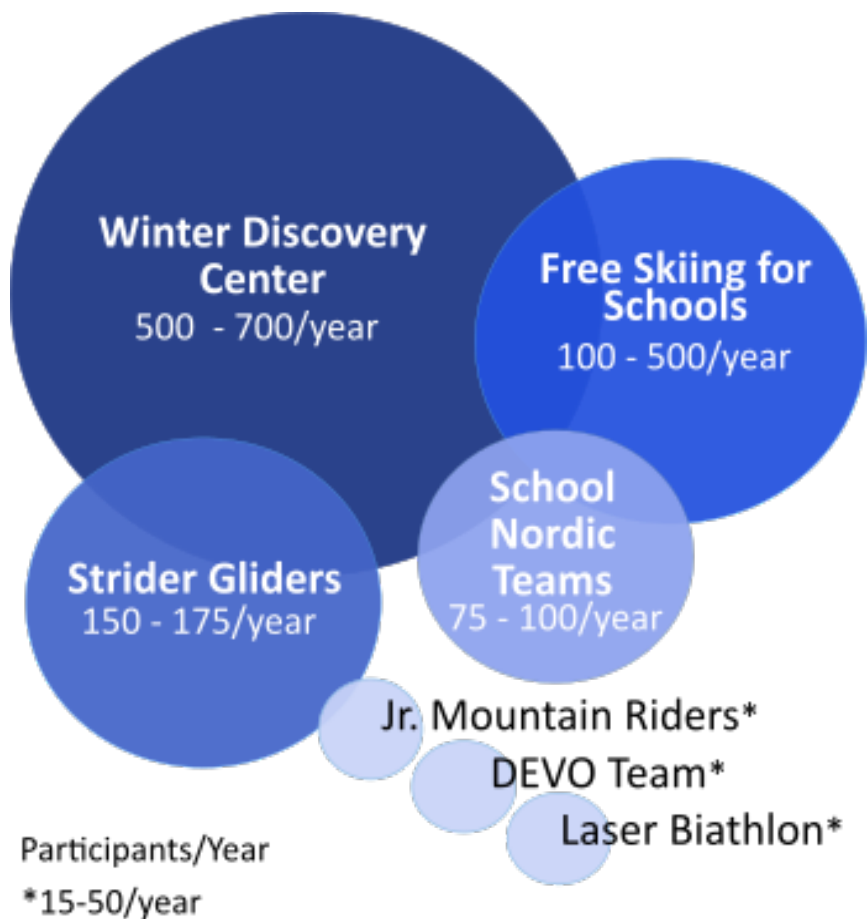


We Are Community Volunteers Who Love to Ski



Programs for Our Community

Youth Programs at TXC



Adult Programs at TXC



Free Skiing!
All youngsters under 19 and those young at heart over 70!

